

AGENDA ITEM NO. 3.2



Zoning Administrator Staff Report

June 21, 2021

PROJECT: Wilton Rancheria Office
FILE: PLNG21-013
REQUEST: Minor Design Review
LOCATION: 9728 Kent Street
APN: 134-0050-085
STAFF: Antonio Ablog, Planning Manager

PROPERTY OWNER:

Wilton Rancheria
Jesus Tarango (Representative)
9728 Kent Street
Elk Grove, CA 95624

PROJECT APPLICANT:

Moorefield Construction, Inc.
Christina Barnette (Representative)
4080 Truxel Road #200
Sacramento, CA 95834

Staff Recommendation

Staff recommends that the Zoning Administrator adopt a Resolution (Attachment 1):

- 1) Finding the Project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures) of Title 14 of the California Code of Regulations (State CEQA Guidelines); and
- 2) Approving a Minor Design Review for the Wilton Rancheria Office Project (PLNG21-013) subject to the findings and conditions of approval included in the draft Resolution.

Project Description

The Project consists of a Minor Design Review for the construction of a new 2,915 square-foot office building in the Industrial-Office Park (MP) Zone located at 9728 Kent Street.

Project Setting/Background

The Project site consists of a ±0.98-acre parcel on the west side of Kent Street approximately 1,800 feet south of Elk Grove Boulevard. The Project site is occupied by offices for the Wilton Rancheria. Other existing improvements include paved parking, lighting, and landscaping. Figures 1 and 2 show the Project's location and existing conditions while Table 1 details the Project's and adjacent properties' Zoning and General Plan designations and uses. The site is predominantly surrounded by light industrial and office uses. The Elk Grove Water District corporation yard is to the west.

In January 2019, the Wilton Rancheria constructed a 2,915 square-foot temporary accessory building to the rear of its office building which fronts on Kent Street (TUP19-001). The purpose of this building was to house mock-ups of hotel rooms for Wilton Rancheria's hotel project. The accessory structure is no longer needed for these purposes; however, Wilton Rancheria is requesting to retain the structure and convert it to office space. The conversion of the structure to office use will result in six (6) new offices, a break room, conference room, a reception area, and storage. According to the Applicant, the conversion of the structure to office use is not to accommodate new employees, but to provide more office space for existing employees at the site.

Figure 1 - Location Map

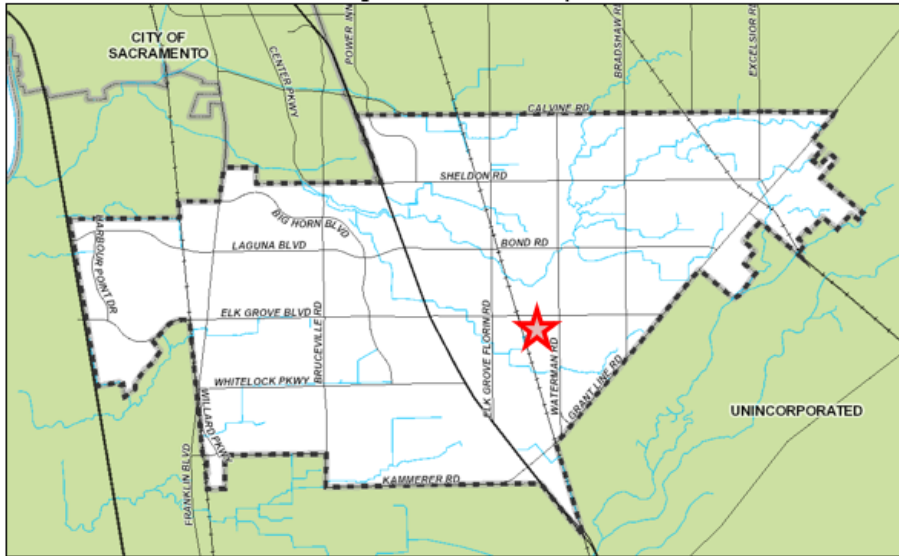


Figure 2 - Site Map



Table 1 - Adjacent Land Use Designations and Uses

	Existing Uses	General Plan	Zoning
Project Site	Wilton Rancheria Office	Light Industrial	Industrial-Office Park (MP)
North	Light Industrial	Light Industrial	Industrial-Office Park (MP)
South	Light Industrial	Light Industrial	Industrial-Office Park (MP)
West	Elk Grove Water District	Light Industrial	Industrial-Office Park (MP)
East	Light Industrial Park	Light Industrial	Industrial-Office Park (MP)

Analysis

The Project includes a Minor Design Review for the construction of a new office building. The proposed Project has been reviewed in accordance with the City’s General Plan, the development standards of Title 22 (Land Development) and Title 23 (Zoning) of the Elk Grove Municipal Code (EGMC).

General Plan/Zoning

The General Plan Light Industrial (LI) designation is characterized by a diverse range of light industrial activities, including limited manufacturing, processing, research and development, fabrication, utility equipment and service yards, wholesaling, warehousing, or distribution. Ancillary office spaces and supporting retail uses are also allowed. The Project site’s Industrial-Office Park (MP) zoning designation is considered an implementing zoning of the General Plan LI designation (General Plan Consistency Matrix Table 3-1). The Project site is currently owned and operated as offices for the Wilton Rancheria. The Project proposes a new office use consistent with the LI designation and MP zoning and will result in a Floor Area Ratio (FAR) of less than 2.0, which is the maximum FAR for the LI land use designation. As the use is an allowed use with the development intensity below the maximum FAR, the proposed Project will be consistent with the General Plan.

Minor Design Review

EGMC Section 23.16.080(B)(3)(b) requires approval of a Minor Design Review for new construction of a mixed-use or nonresidential building or structure less than 10,000 square feet. The Applicant proposes to convert a prefabricated metal building that was temporarily used for hotel room mock-ups to a permanent office use. The conversion of the structure to office use will result in six (6) new offices, a break room, a conference room, a reception area, and storage.

The existing building that will be converted to office use is a 14.5-foot tall, corrugated metal structure painted to match the existing building on the front of the property. There will be minor changes to the building exterior to accommodate new windows and doors for the office spaces and associated uses.

Table 2 - Conformity with Development Regulations

Development Standard	Required (OTSPA)	Proposed	Complies
Maximum FAR	2.0	0.16	Yes
Building Setbacks	Front: 25’ maximum Rear: 10’ Side: 10’	Front: 25’ (existing) Rear: 32’ Side: 50’	Yes
Building Height Limit	40’	14.5’	Yes
Parking	Office : 4/1000sf = 12 stalls	12 stalls	Yes
Landscaping	Minimum Landscape Coverage: 15% Parking Lot Shading: 30% Perimeter Planter: 6’	Minimum Landscape Coverage: 30% Parking Lot Shading: 30% Perimeter Planter: 6’	Yes

Exhibit B of Attachment 1 provides the building elevations and Figure 3 below provides images of the existing construction. As mentioned, the building is corrugated metal. While the main office building has a stucco finish, the new metal office building is painted to match. Though the new construction differs in finish from the main office, it is a small single-story building located to the rear of the site with limited visibility from the street. Staff believes that the retention of the structure for the use of offices makes efficient use of the site and is consistent with other recent projects on Kent Street, including a corrugated metal storage building at the south end of Kent Street repurposed for indoor agriculture uses.

Figure 3 – Existing Building



East Elevation



South Elevation



West Elevation



North Elevation

Letters from Commenting Agencies

The request is for a minor design review for the construction of an accessory building. Comments from comment agencies have been addressed either through project revisions or conditions of approval.

Environmental Analysis

CEQA requires analysis of agency approvals of discretionary "projects." A "project," under CEQA, is defined as "the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment" (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

The Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) based on the finding in the attached drafted Resolution (Attachment 1).

Recommended Action

Should the Zoning Administrator agree with staff's recommendation, the following action is suggested:

"Adopt a Resolution finding the Project exempt from CEQA pursuant to State CEQA Guidelines Section 15303; and approving a Minor Design Review for the Wilton Rancheria Office Project (PLNG21-013) subject to the findings and conditions of approval included in the draft Resolution."

Note: The Zoning Administrator's decision on the Project is appealable to the Planning Commission and the City Council, if applicable, provided such appeal is made within the required time frames under the EGMC.

Attachments

1. Zoning Administrator Draft Resolution
Exhibit A – Project Description
Exhibit B – Project Plans
Exhibit C – Conditions of Approval
2. Surrounding Conditions Photos

ATTACHMENT 1

RESOLUTION NO. ZA-2021-XX

JUNE 21, 2021

**A RESOLUTION OF THE CITY OF ELK GROVE ZONING ADMINISTRATOR
FINDING THE PROJECT EXEMPT FROM CEQA
PURSUANT TO STATE CEQA GUIDELINES SECTION 15303
AND APPROVING A MINOR DESIGN REVIEW**

FOR THE

**WILTON RANCHERIA OFFICE
PROJECT NO. PLNG21-013
9728 KENT STREET
APN: 134-0050-085**

WHEREAS, the Development Services Department of the City of Elk Grove ("City") received an application on February 5, from Moorefield Construction, Inc. (the "Applicant") requesting a Minor Design Review for a 2,915 square-foot office building (the "Project"); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN: 134-0050-085; and

WHEREAS, the Project consists of a Minor Design Review for a 2,915 square-foot office building on the nonresidential Project site, which is in an area where all public services and facilities are available and is not environmentally sensitive; and

WHEREAS, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code Title 22 (Land Development) and Title 23 (Zoning), and all other applicable State and local regulations; and

WHEREAS, the Zoning Administrator held a duly-noticed public hearing as required by law to consider all of the information presented by staff, the information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED that the Zoning Administrator of the City of Elk Grove finds the Project exempt from the provisions of CEQA under State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) based upon the following findings:

CEQA

Finding: The Project is categorically exempt from CEQA pursuant to State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

Evidence: CEQA requires analysis of agency approvals of discretionary "Projects." A "Project," under CEQA, is defined as "the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably

foreseeable indirect physical change in the environment" (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

The Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). State CEQA Guidelines Section 15303 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The Project includes the construction of a 2,915 square-foot office building. The Project site is in an area where all public services and facilities are available and is not environmentally sensitive. No special circumstances exist that would create a reasonable possibility that granting a Minor Design Review would create a significant adverse effect on the environment.

AND, BE IT FURTHER RESOLVED, that the Zoning Administrator of the City of Elk Grove approves the Project as described in the Project Description provided in Exhibit A, as illustrated in Exhibit B, and subject to the Conditions of Approval as provided in Exhibit C, each incorporated herein by this reference, based upon the following findings:

Minor Design Review

Finding #1: The proposed Project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, specific plan provisions, special planning area provisions, Citywide Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The General Plan Light Industrial (LI) designation is characterized by a diverse range of light industrial activities, including limited manufacturing, processing, research and development, fabrication, utility equipment and service yards, wholesaling, warehousing, or distribution. Ancillary office spaces and supporting retail uses are also allowed. The Project site's Industrial-Office Park (MP) zoning designation is considered an implementing zoning of the General Plan LI designation (General Plan Consistency Matrix Table 3-1). The Project site is currently owned and operated by the Wilton Rancheria. The Project proposes a new office use consistent with the LI designation and MP zoning and will result in a Floor Area Ratio (FAR) of less than 2.0, which is the maximum FAR for the LI land use designation. As the use is an allowed use with the development intensity below the maximum FAR, the proposed Project will be consistent with the General Plan.

Finding #2: The proposed architecture and site design is suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: The office building is corrugated metal. While the main office building has a stucco finish, the new metal office building is painted to match. Though the new construction differs in finish from the main office, it is a small, single-story building located to the rear of the site with limited visibility from the street.

Finding #3: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing, and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The office building is corrugated metal. While the main office building has a stucco finish, the new metal office building is painted to match. Though the new construction differs in finish from the main office, it is a small, single-story building located to the rear of the site with limited visibility from the street. Staff believes that the retention of the structure for the use of offices makes efficient use of the site and is consistent with other recent projects on Kent Street, including a corrugated metal storage building at the south end of Kent Street repurposed for indoor agriculture uses.

Finding #4: The proposed Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: The office building is located towards the rear of the site and does not impact the circulation of the site. Pedestrian and bicycle connectivity on the site and to the public right-of-way will be maintained. The site layout currently provides adequate circulation for vehicular traffic. The Project does not propose any changes to the existing street system or pedestrian and bicycle pathways.

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City’s street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian-friendly environment.

Evidence #5: The Project is not a residential subdivision. Therefore, this finding is not relevant to the Project.

The foregoing Resolution of the City of Elk Grove was passed and adopted by the City of Elk Grove Zoning Administrator on the 21st day of June 2021.

Christopher Jordan, Zoning Administrator

Date

ATTEST:

Sandy Kyles, Planning Secretary

PROJECT DESCRIPTION

The Project consists of a Minor Design Review for the construction of a new 2,915 square-foot office building in the industrial-Office Park (MP) Zone located at 9728 Kent Street.

Wilton Rancheria Offices

9728 Kent Street
 Elk Grove, CA 95624



PLUMBING FIXTURE ANALYSIS

OCCUPANCY = 57 PERSONS, 28 MALE, 29 FEMALE

MENS

1 WC/50 PERSONS = 1 REQUIRED
 1 LAV/75 PERSONS = 1 REQUIRED

WOMENS

1 WC/15 PERSONS = 2 REQUIRED
 1 LAV/50 PERSONS = 1 REQUIRED

EXITING REQUIREMENTS

2 MEANS OF EGRESS REQUIRED/2 PROVIDED
 .2*/PERSON X 57 PERSONS = 11.4'/ 72' PROVIDED

CODE ANALYSIS

PROJECT LOCATION: ELK GROVE, CALIFORNIA	
PROJECT JURISDICTION: WILTON RANCHERIA	
ALL WORK SHALL CONFORM TO, BUT NOT BE LIMITED TO:	
APPLICABLE CODES:	2019 CALIFORNIA BUILDING CODE (CBC - TITLE 24)
	2019 CALIFORNIA MECHANICAL CODE (CMC)
	2019 CALIFORNIA PLUMBING CODE (CPC)
	2019 CALIFORNIA ELECTRICAL CODE (CEC)
	2019 CALIFORNIA FIRE CODE (CFC)
	2019 CALIFORNIA GREEN CODE
	2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
	2019 CALIFORNIA ENERGY CODE
	2019 AUGUST 2019 CBC SUPPLEMENT

ALL WORK SHALL ALSO CONFORM TO LOCAL, COUNTY, & STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ALL CODES LISTED SHALL COMPLY WITH APPLICABLE AMENDMENTS AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION.

INTERIOR FINISHES

(CHAPTER 8)			
OCCUPANCY GROUP	VERTICAL EXITS & PASSAGEWAYS	EXIT ACCESS CORRIDORS & OTHER EXIT WAYS	ROOMS & ENCLOSED SPACES
N/A - (A2),(A3)	B	B	C
(B),(R1)	B	C	C
N/A - (S)	C	C	C

CLASS A: FLAME SPREAD INDEX 0-25 - SMOKE DEVELOPED INDEX 0-450
 CLASS B: FLAME SPREAD INDEX 26-75 - SMOKE DEVELOPED INDEX 0-450
 CLASS C: FLAME SPREAD INDEX 76-200 - SMOKE DEVELOPED INDEX 0-450
 INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE TO ASTM E 84 OR UL 723

FIRE PROTECTION

(CHAPTER 9)			
	YES	NO	NA
FIRE PROTECTION REPORT CREATED FOR THIS PROJECT?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
AUTOMATIC SPRINKLERS (ACCORDANCE WITH 903.2)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ALTERNATIVE METHODS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
EXIT PASSAGEWAY	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
HORIZONTAL EXITS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ATRIUMS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INCIDENTAL USE AREA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

MEANS OF EGRESS

(CHAPTER 10)			
OCCUPANT LOAD	LEVEL 1	Existing premanufactured Building used as office	57
		TOTAL:	57 OCC.

OCCUPANCY CLASSIFICATION

(CHAPTER 3)		
NONSEPARATED OCCUPANCY SECTION 508.3	LEVEL 1	Group B-Business Occupancy

CONSTRUCTION TYPE-2B

INDEX OF DRAWINGS

<u>ARCHITECTURAL</u>	
A-0	COVER SHEET
A-0.1	GREEN STANDARD BUILDING CODE
A-0.2	GREEN STANDARD BUILDING CODE
A-0.3	GREEN STANDARD BUILDING CODE
A-1	FLOOR PLAN
A-2	REFLECTED CEILING PLAN
A-3	INTERIOR ELEVATIONS
A-4	WALL DETAILS
A-5	THRESHOLD DETAILS
A-6	CEILING DETAILS
A-7	MILLWORK DETAILS
A-8	MILLWORK DETAILS
A-9	FLOOR/WALL FINISH PLAN/SPECIFICATIONS
SP-1	SITE PLAN
<u>STRUCTURAL</u>	
S-1.0	DETAILS AND NOTES
S-2.0	SLAB PLAN
S-2.1	CEILING FRAMING PLAN
S-3.0	SLAB PLAN
S-4.0	DETAILS
<u>MECHANICAL</u>	
M-1	HVAC NOTES AND SCHEDULES
M-2	HVAC PLAN
T24-1	TITLE 24 DOCUMENTS
T24-2	TITLE 24 DOCUMENTS
<u>ELECTRICAL</u>	
E0.1	ELECTRICAL ONE-LINE AND LEGENDS
E0.2	CA TITLE 24 COMPLIANCE DOCS
E1.1	ELECTRICAL SITE PLAN
E2.1	LIGHTING PLAN
E2.2	POWER AND SIGNAL PLAN
<u>PLUMBING</u>	
P1.0	WATER AND SEWER TABLES AND DETAILS
P2.0	WATER AND SEWER PLAN

PROJECT TEAM

DESIGN/BUILD GENERAL CONTRACTOR

MOOREFIELD CONSTRUCTION INC.
 4080 TRUXEL ROAD, SUITE 200
 SACRAMENTO, CA 95834-3725
 916-614-7888

SCOPE OF WORK STATEMENT

This is a new commercial structure that includes improvements to an existing structure. Reference permit #18-06734

OCCUPANCY CALCULATIONS

TOTAL BUILDING GROSS SQ. FT. = 2915 SF

RECEPTION 100 =	222 SF /15 SF = 15 PERSONS
OFFICE 102 =	168 SF /15 SF = 1 PERSONS
OFFICE 103 =	168 SF /15 SF = 1 PERSONS
OFFICE 104 =	168 SF /15 SF = 1 PERSONS
OFFICE 105 =	90 SF /15 SF = 1 PERSONS
OFFICE 106 =	90 SF /15 SF = 1 PERSONS
OFFICE 107 =	90 SF /15 SF = 1 PERSONS
CONFERENCE 108 =	540 SF /15 SF = 36 PERSONS
TOTAL = 57 PERSONS	

DOOR SCHEDULE								
#	TYPE	SIZE	DOOR		FRAME		REF. NOTES	HARDWARE
			MATERIAL	FINISH	MATERIAL	FINISH		
1	D	3'-0" X 7'-0" X 1 3/4"	ALUM.	ALUM.	ALUM.	ALUM.		PANIC BAR 1
2	A	(PR.) 3'-0" X 7'-0" X 1 3/4"	H.M.	P-1	H.M.	P-1		2
3	A	3'-0" X 7'-0" X 1 3/4"	H.M.	P-1	H.M.	P-1		PANIC BAR 2
4	C	3'-0" X 7'-0" X 1 3/4"	GLASS	GLASS	NONE	NONE		4
5	C	3'-0" X 7'-0" X 1 3/4"	GLASS	GLASS	NONE	NONE		4
6	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
7	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
8	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
9	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
10	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
11	B	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		5
12	A	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		2
13	A	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		3
14	A	3'-0" X 7'-0" X 1 3/4"	S.C. WD.	P-1	WOOD	P-1		3

TACTILE EXIT SIGNS ARE REQUIRED FOR DOOR #1 AND #3

HARDWARE SET #1

- 1 1/2 PAIR HINGES
- KEYED DEADBOLT CLOSER
- EXTERIOR DOOR PULL
- PANIC PUSH BAR

HARDWARE SET #2

- 1 1/2 PAIR HINGES
- KEYED LOCKSET LEVER CLOSER
- WALL DOOR STOP

HARDWARE SET #3

- 1 1/2 PAIR HINGES
- PRIVACY LATCHSET LEVER CLOSER
- WALL DOOR STOP
- PANIC PUSH BAR

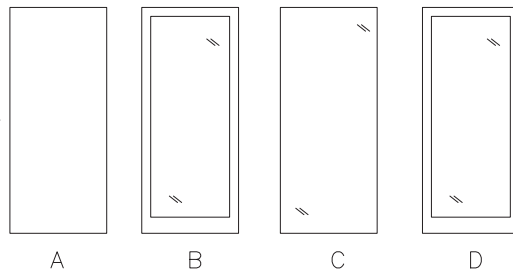
HARDWARE SET #4

- C.R. LAWRENCE GLASS DOORS AND INCLUDED HARDWARE

HARDWARE SET #5

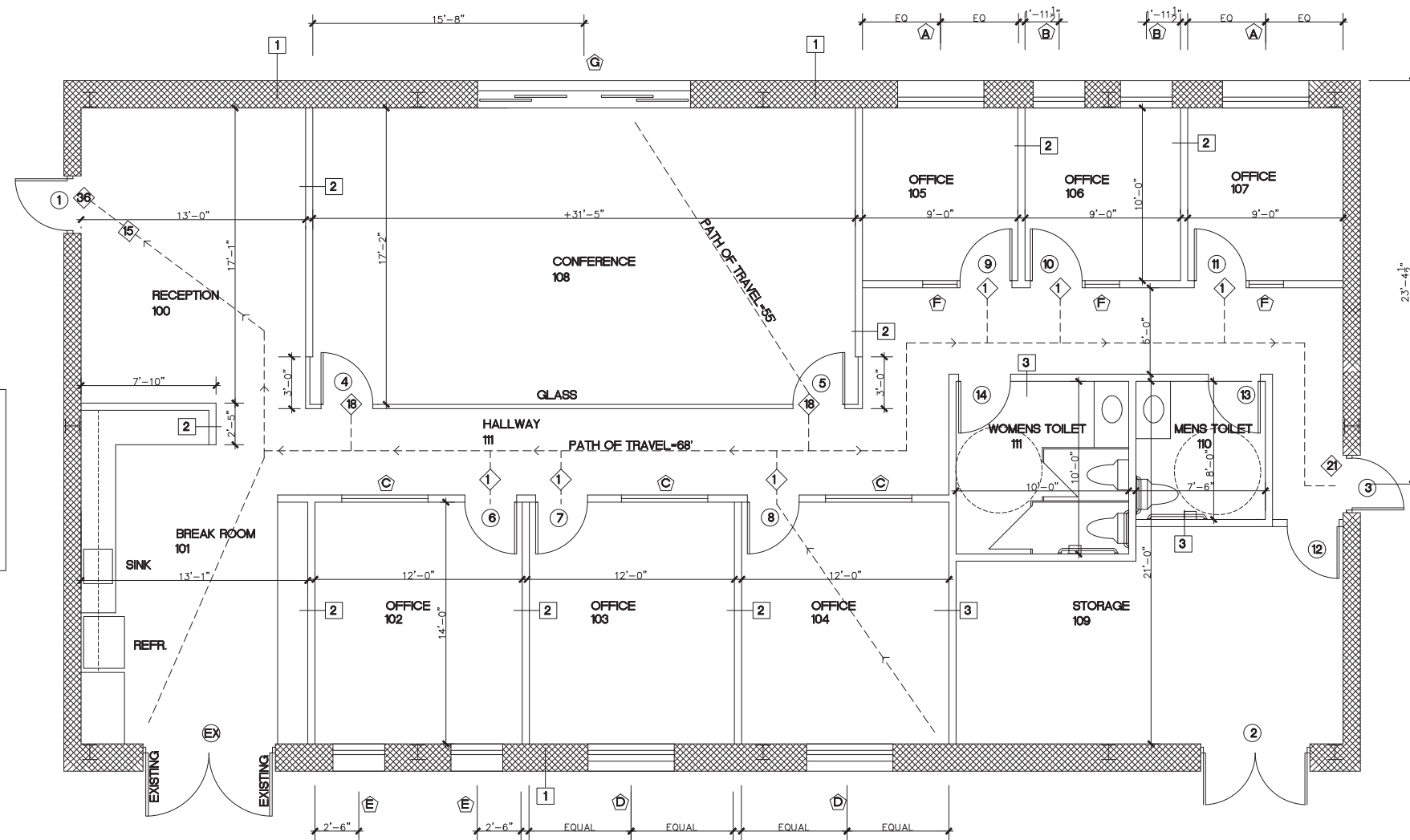
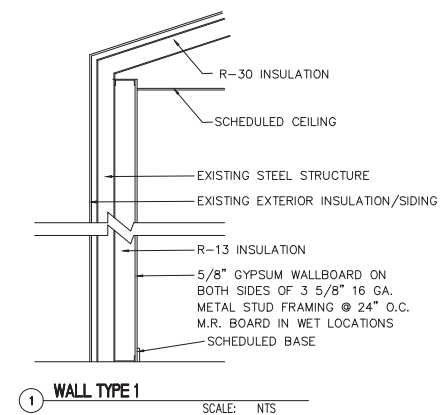
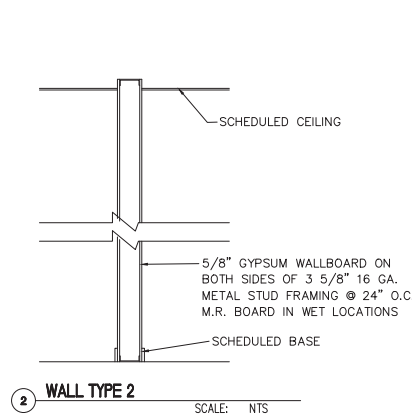
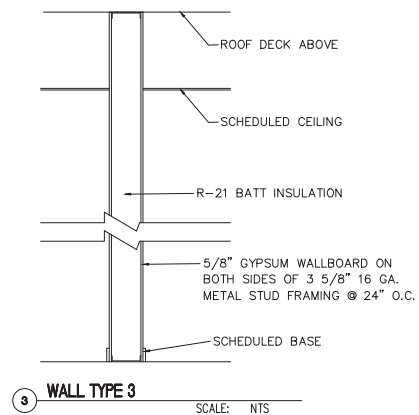
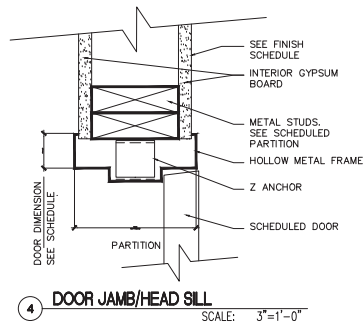
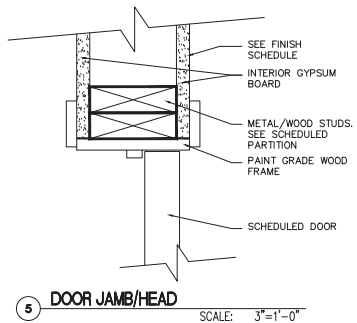
- 1 1/2 PAIR HINGES
- KEYED LOCKSET LEVER
- WALL DOOR STOP

NOTE: ALL HARDWARE TO BE BRUSHED CHROME FINISH--SCHLAGE OR EQUAL

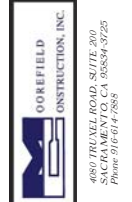


DOOR NOTES

- EQUALS FOR DOORS ARE ONLY PERMITTED WITH THE APPROVAL OF THE ARCHITECT.
- ALL HARDWARE MUST COMPLY WITH ALL ADA AND GOVERNING HANDICAP LAWS.
- ALL HARDWARE TO BE US26D SATIN CHROME PLATED.
- DOORS WITHIN THE PATH OF TRAVEL FOR HANDICAPPED TO BE OPENABLE WITH A SINGLE EFFORT BY LEVER, PANIC BAR OR PUSH / PULL HARDWARE.
- EXIT DOORS TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- DOOR CLOSERS TO BE ADJUSTED TO PROVIDE A MAX. FORCE OF 5 LBS. AT FIRE DOOR USE MIN. FORCE ACCEPTABLE BY FIRE MARSHALL (OR 7.5 LBS.)
- OVERHEAD CLOSURE MUST MEET "CAPABLE" REQUIREMENTS FOR HANDICAP USE. MAX 8.5 LBS PUSH PULL PRESSURE.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- BOTH SIDES OF DOORS SHALL BE FINISHED THE SAME UNLESS OTHERWISE NOTED.
- ANY SUBSTITUTIONS TO BE SUBMITTED WITH CATALOG AND CUT SHEET FOR ARCHITECT APPROVAL.
- VERIFY IN THE FIELD THE CONDITION OF THE EXISTING DOORS. REPAIR DOOR LEAF AS REQUIRED. REPLACE ALL NON-FUNCTIONING DOOR HARDWARE. INSTALL NEW HARDWARE IF REQUIRED TO MEET THE HARDWARE SPECIFICATIONS ABOVE. PAINT DOOR LEAF AND FRAMES
- AS AN EXISTING CONDITION: G.C. SHALL VERIFY THE EXISTING CONDITION OF ALL HARDWARE AND REPLACE IF NECESSARY. PROVIDE OVERHEAD DOOR CLOSER AND PEEP HOLE. INSTALL PANIC BAR IF NOT PRESENT.
- CLEAR TEMPERED GLASS.
- PROVIDE DOOR SWEEP AND WEATHERSTRIPPING ON ALL SIDES OF DOORS AT EXTERIOR LOCATIONS.
- KEY CYLINDER CORES FOR EXISTING DOOR SHALL BE RE-KEYED BY CONTRACTOR TO OWNER'S SPECIFICATIONS.



HATCHED WALLS INDICATE EXISTING WALLS



Wilton Rancheria Offices
 9728 Kent Street
 Elk Grove, CA 95624

REVISIONS	
No.	DATE

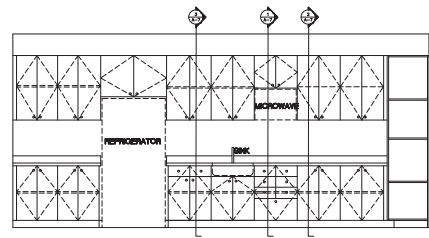
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 SCALE:
 DRAWN BY: MG
 DESIGN BY:
 CHK'D. BY: MG
 FILE NO:

FLOOR PLAN

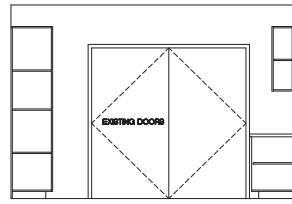
JOB NO.
 2002

SHEET NO.

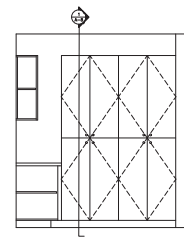
A-1



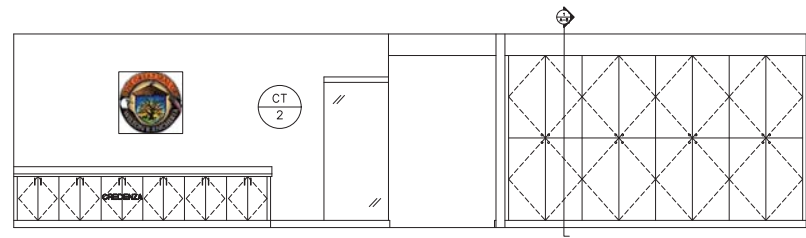
4 ELEVATION SCALE: 1/4"=1'-0"



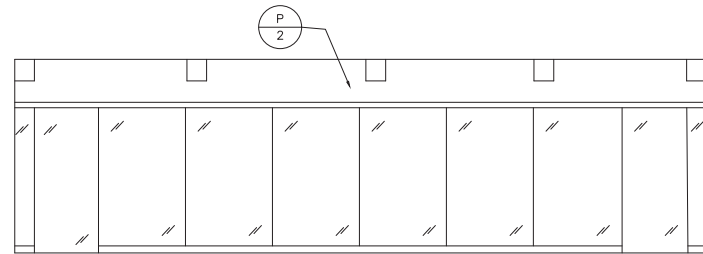
3 ELEVATION SCALE: 1/4"=1'-0"



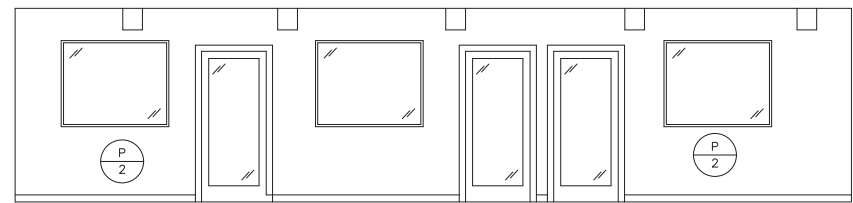
2 ELEVATION SCALE: 1/4"=1'-0"



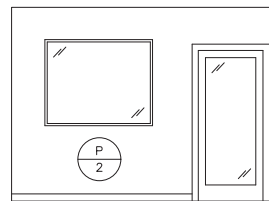
1 ELEVATION SCALE: 1/4"=1'-0"



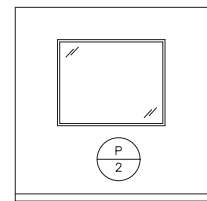
6 ELEVATION SCALE: 1/4"=1'-0"



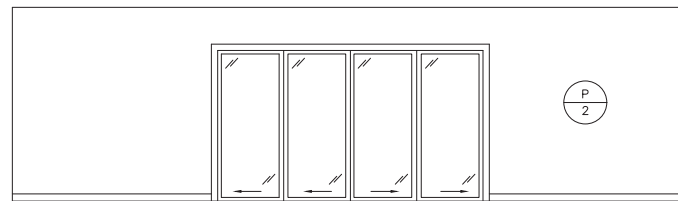
5 ELEVATION SCALE: 1/4"=1'-0"



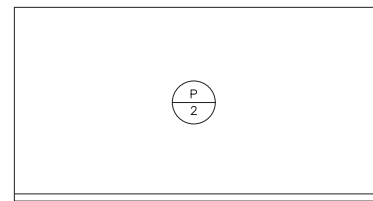
11 ELEVATION SCALE: 1/4"=1'-0"



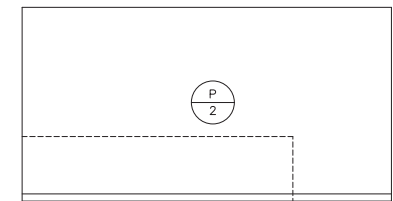
10 ELEVATION SCALE: 1/4"=1'-0"



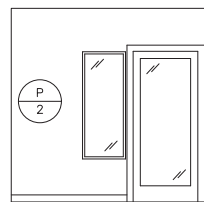
9 ELEVATION SCALE: 1/4"=1'-0"



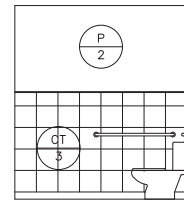
8 ELEVATION SCALE: 1/4"=1'-0"



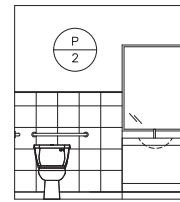
7 ELEVATION SCALE: 1/4"=1'-0"



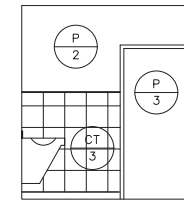
13 ELEVATION SCALE: 1/4"=1'-0"



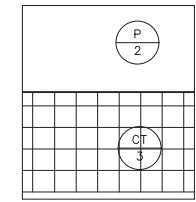
15 ELEVATION SCALE: 1/4"=1'-0"



14 ELEVATION SCALE: 1/4"=1'-0"



18 ELEVATION SCALE: 1/4"=1'-0"



12 ELEVATION SCALE: 1/4"=1'-0"



Wilton Rancheria Offices
 9728 Kent Street
 Elk Grove, CA 95624

REVISIONS	
No.	DATE

DATE: 12-8-20
 SCALE:
 DRAWN BY: MG
 DESIGN BY:
 CHK'D. BY: MG
 FILE NO:

ELEVATIONS

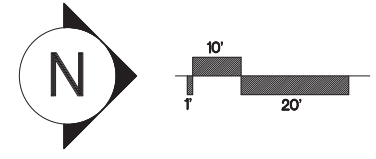
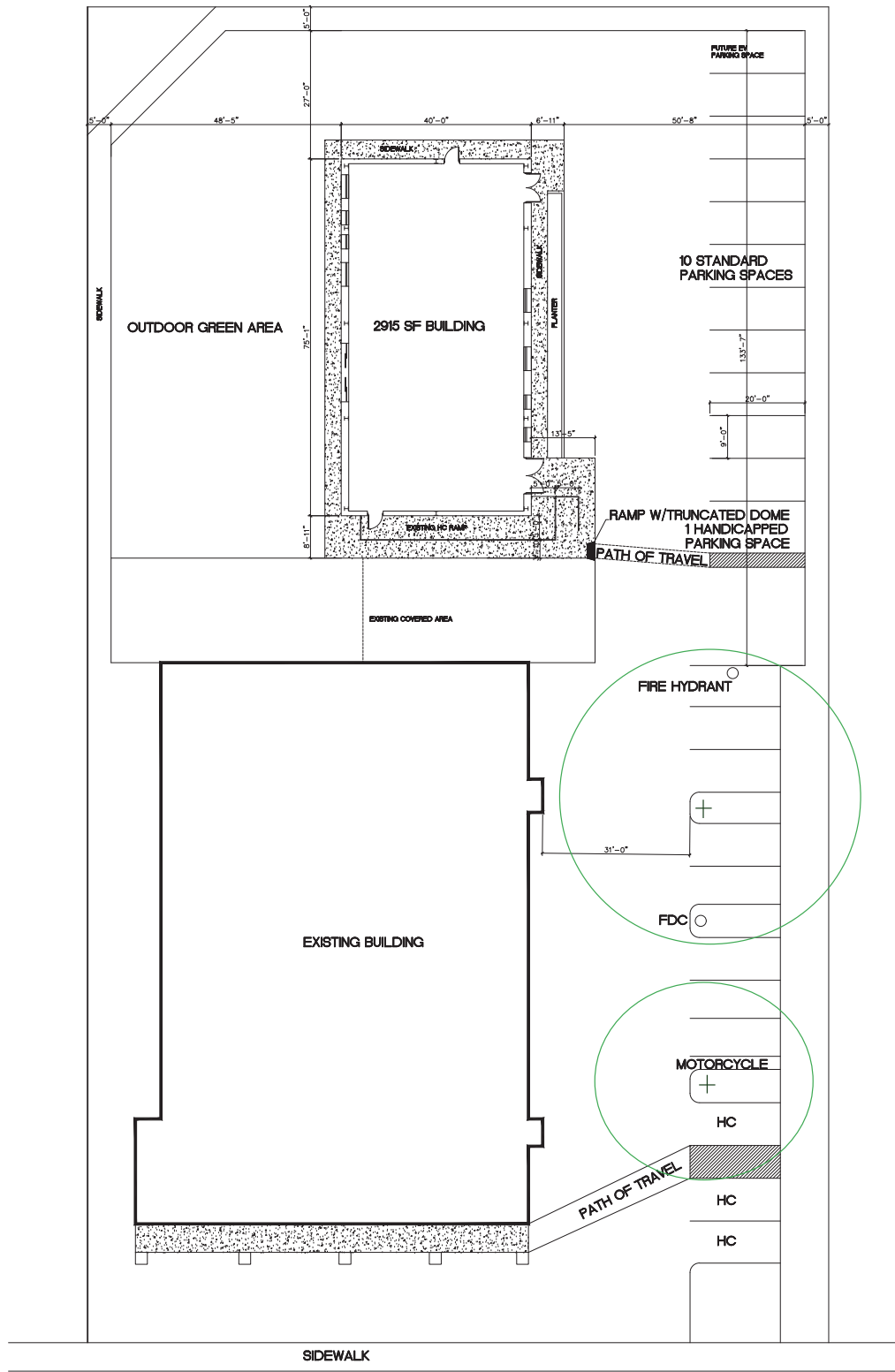
JOB NO.
 2002

SHEET NO.
 A-3



Wilton Rancheria Offices
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 Elk Grove, CA 95624

NOTE TO BUILDING DEPARTMENT:
 THIS BUILDING WAS ORIGINALLY PERMITTED
 TO BE A TEMPORARY BUILDING AND
 IS NOW BECOMING A PERMANENT BUILDING.
 CROSS REFERENCE PREVIOUS PERMIT
 #18-06734 FOR INFORMATION

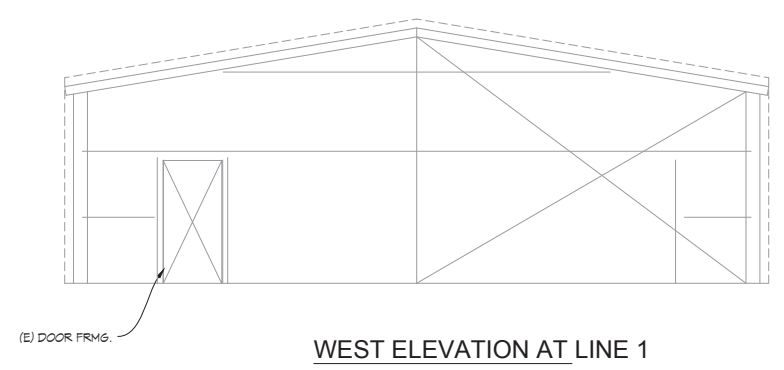


REVISIONS	
No.	DATE

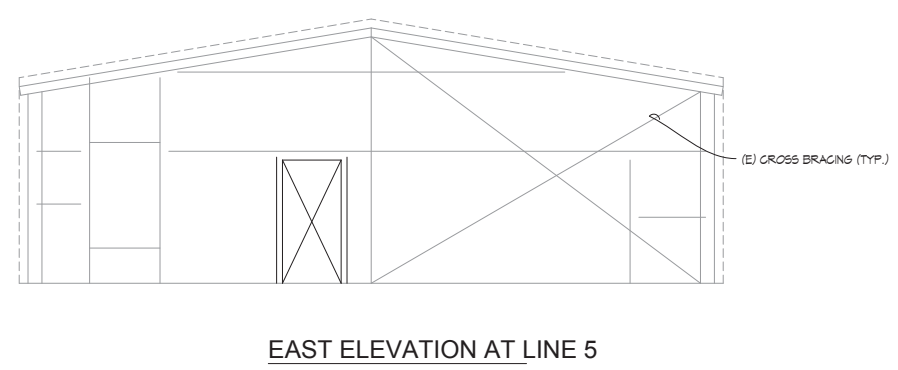
DATE: 1-6-20
 SCALE:
 DRAWN BY: MG
 DESIGN BY:
 CHK'D. BY: MG
 FILE NO:
 SITE PLAN
 JOB NO.
 2002
 SHEET NO.
 SP-1



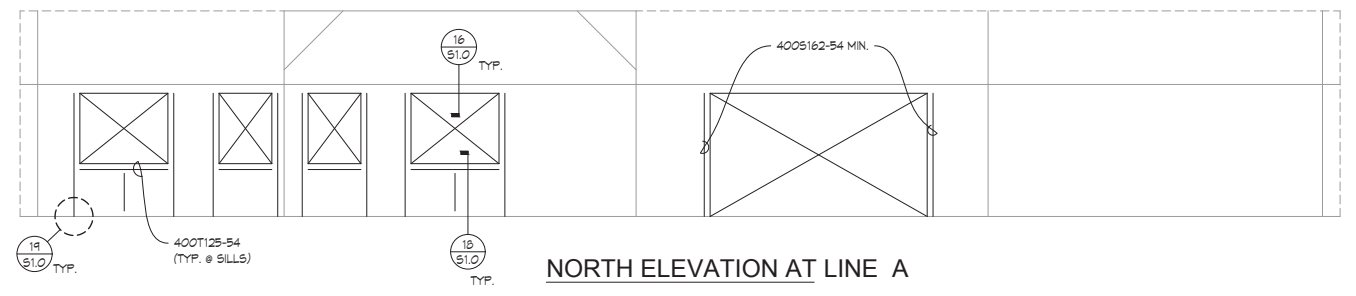
THIS DOCUMENT CONTAINS INFORMATION THAT IS PROPRIETARY TO DEEMS STRUCTURAL ENGINEERING AND IS FURNISHED FOR THE PURPOSE OF REVIEW, BIDDING & CONSTRUCTION OF THE PROJECT LISTED IN THE JOB TITLE BOX BELOW AND SHALL NOT BE USED FOR ANY OTHER PURPOSE OR RELEASED TO ANY OTHER PARTY WITHOUT WRITTEN CONSENT OF DEEMS STRUCTURAL ENGINEERING. INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICES & SHALL REMAIN THE PROPERTY OF DEEMS STRUCTURAL ENGINEERING. ALL RIGHTS RESERVED COPYRIGHT 2020



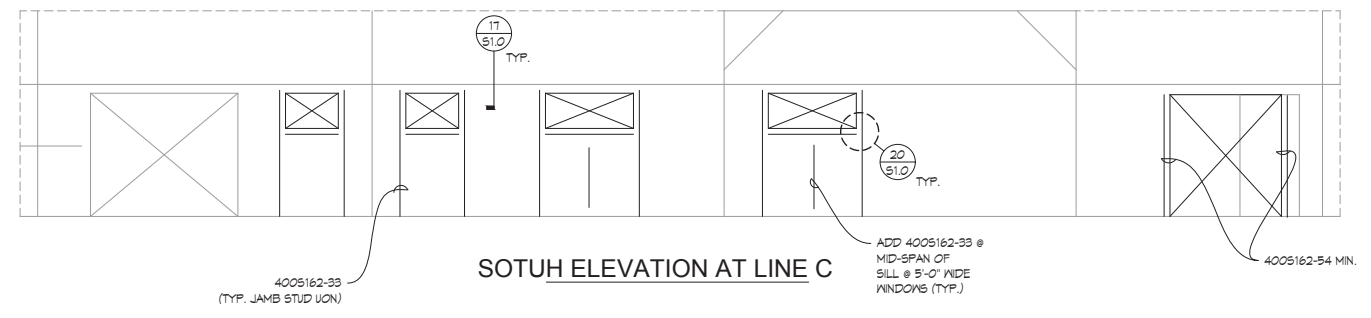
WEST ELEVATION AT LINE 1



EAST ELEVATION AT LINE 5



NORTH ELEVATION AT LINE A



SOUTH ELEVATION AT LINE C

EXTERIOR WALL ELEVATIONS
SCALE: 1/4" = 1'-0"

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Elk Grove, CA 95624

REVISIONS	
No.	DATE
1	1-06-21
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DATE: 1-06-21
SCALE:
DRAWN BY: DNR
DESIGN BY:
CHK'D. BY: B.D
FILE NO:

JOB NO.
20-037

SHEET NO.

S3.0

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
On Going				
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.	On-Going	Planning	
2.	The Applicant/Owner or Successors in Interest (hereby referred to as the "Applicant") shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Project approval or any environmental or other documentation related to approval of this Project.	On-Going	Planning	
3.	This action does not relieve the Applicant of the obligation to comply with all codes, statutes, regulations, and procedures.	On-Going	Planning	
4.	The Minor Design Review will expire three (3) years from the date of approval by the Zoning Administrator unless exercised or extended pursuant to Chapter 23.18 of the EGMC.	On-Going	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
5.	<p>Except as otherwise specified or provided in these conditions, the Project shall conform to the development standards and design requirements adopted by the City, specifically including but not limited to the following:</p> <ul style="list-style-type: none"> • The City Zoning Code (Title 23 of the EGMC) • EGMC Title 16 (Building and Construction) 	On-Going	Planning Building	
6.	<p>The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), or other agencies or services providers as established by law.</p>	On-Going	Planning Building CCSD EGWD	
7.	<p>Approval of this Project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following:</p> <ul style="list-style-type: none"> • Building Permit and Certificate of Occupancy • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire Department review for permits and/or occupancy 	On-Going	Planning Building CCSD	
8.	<p>As to any fee, dedication, reservation, or extraction established by these conditions of approval are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitation periods may apply. The City reserves all rights.</p>	On-Going	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
9.	SMUD has existing overhead 12kV facilities along the southern parcel boundary on the project site that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	On-Going	SMUD	
10.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.	On-Going	SMUD	
11.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	On-Going	SMUD	
12.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	On-Going	SMUD	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
13.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services	On-Going	SMUD	
Prior to Issuance of Certificate of Occupancy				
14.	Prior to Certificate of Occupancy, the project area shall annex into the Maintenance Mello-Roos Community Facilities District 2006-1 (CFD), to fund the project’s fair share of landscape related maintenance costs associated with public parkways, public parks, open space, landscape setbacks, bike and other paths, landscaped medians in and adjacent to roadways, maintenance and operation of a community center, sports (including aquatic) facilities, cultural arts center, and water features, and maintenance of other related facilities. The annexation process can take several months, so applicants should plan accordingly. The application fee and completed application for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see http://www.elkgrovecity.org/city_hall/departments_divisions/finance/mello_roos_cfds/	Certificate of Occupancy	Finance	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
15.	Prior to Certificate of Occupancy, the project area shall annex into the Storm Water Drainage Fee Zone 2 to fund a portion of the additional costs for stormwater drainage and run-off maintenance related to serving the new development. The annexation process can take several months, so applicants should plan accordingly. The completed application for the annexation is due prior to the Resolution of Intention to Levy Storm Water Drainage Fee Zone 2 assessments. For further information on this District, see http://www.codepublishing.com/CA/elkgrove/#!/ElkGrove15/ElkGrove1510.html#15.10 .	Certificate of Occupancy	Finance	
16.	The Applicant shall prepare and submit a drainage technical memorandum to the satisfaction of the City and in accordance with the City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies.	Certificate of Occupancy	Engineering Public Works	
17.	The Applicant shall reconstruct all damaged public improvements along the Project's frontages, whether or not caused by construction-related activities in accordance with the City's Standards and to the satisfaction of the City. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damaged portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City.	Certificate of Occupancy	Engineering	

Exhibit C
 Wilton Rancheria Office (PLNG21-013)
 Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
18.	The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards.	Certificate of Occupancy	Engineering	